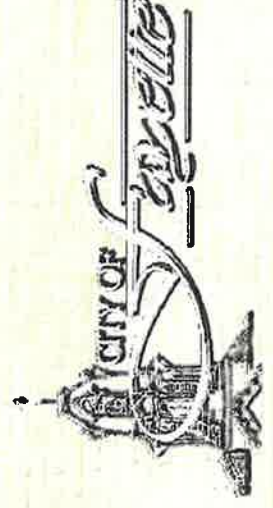
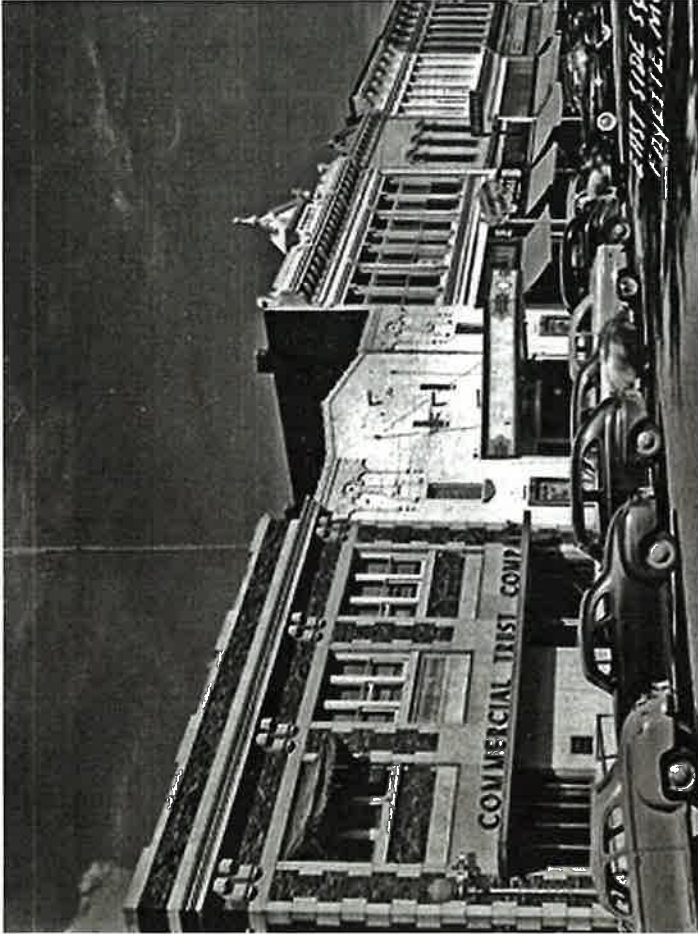




Design Guidelines for Courthouse Square Historic District





Acknowledgements

Mayor
Kenneth O'Brian

The Fayette Board of Aldermen
Southwest Ward Alderman— Greg Sidham, Southwest Ward Alderman— Grafton Cook, Northwest Ward
Alderman— D.L. Dimond, Northwest Ward Alderman— R.C. (Bobby) Robb, East Ward Alderman— Sheila Chap-
man, East Ward Alderwoman— Marquise Francis

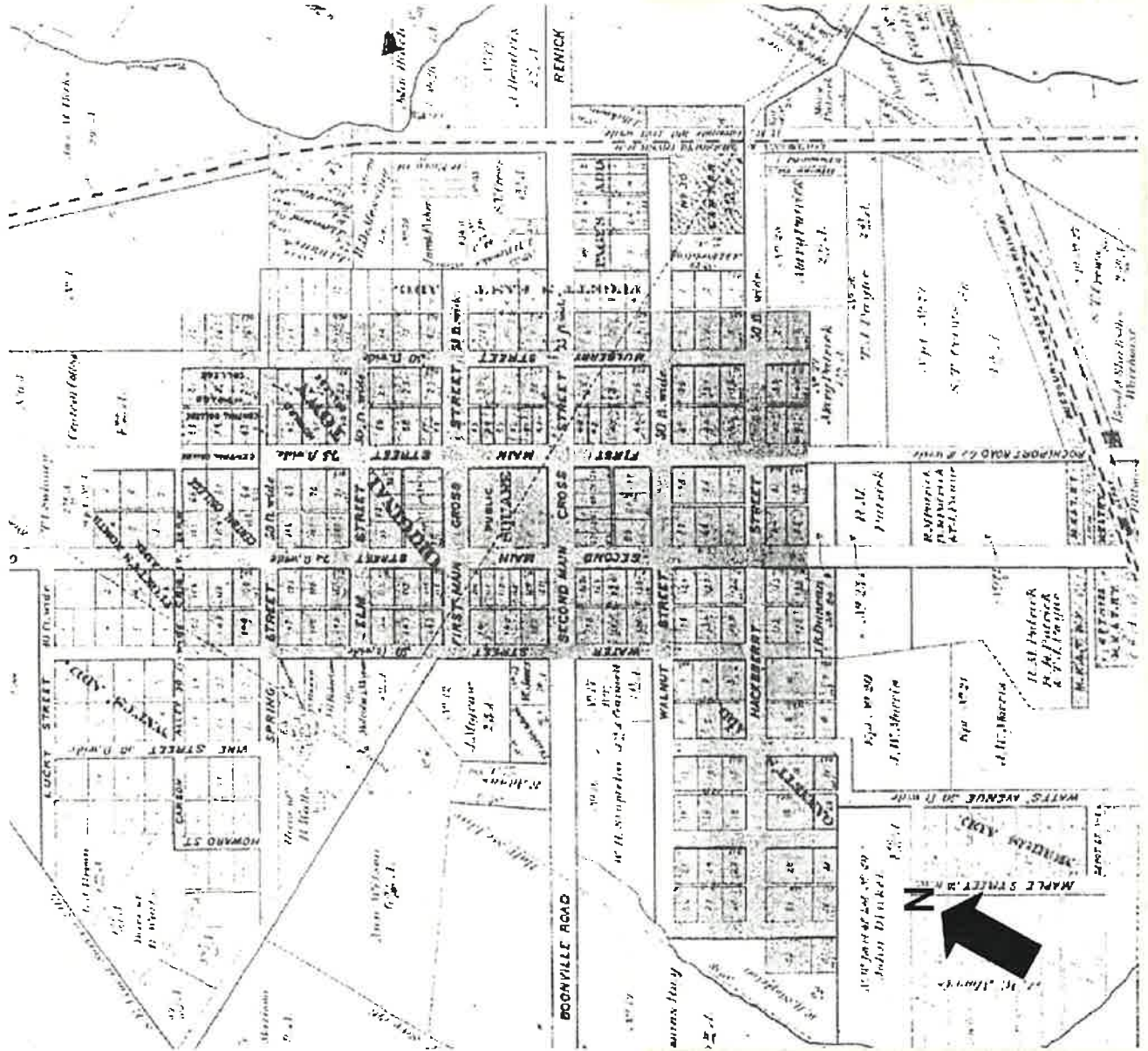
The Fayette Planning and Zoning Commission
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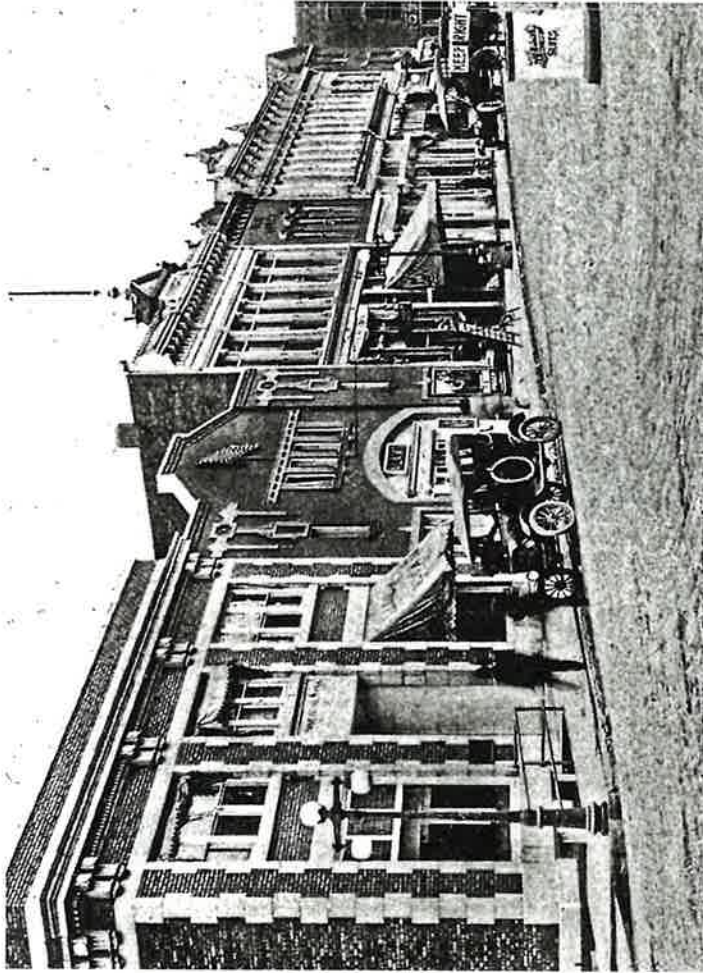
The Fayette Historic Planning Commission
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sentative— Marquise Francis, Planning and Zoning Representative— Pam Huttissel

This publication was funded with the assistance of a Neighborhood Assistance Program Grant awarded by the Missouri Department of Economic Development to Fayette Main Street, Inc. and was developed from final draft copies of "Design Guidelines for Courthouse Square District Fayette, Missouri" originally prepared by Winter and Company of Boulder, Colorado in November of 2005.

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Downtown holds special places in the hearts of many communities. This is especially true for downtown Fayette. Not only is the District unique in the city, it is a unique regional attraction. This document is an effort to preserve and enhance the best qualities of the downtown. Fayette residents and building owners take great pride in the downtown and the concentration of historic and architecturally interesting buildings. This document provides a guide for preserving and rehabilitating the historic buildings of the District.

To encourage the preservation of historic places, the Fayette Board of Aldermen established by ordinance the Fayette Historic Preservation Commission in 2000. The Commission was charged with adopting design guidelines that would encourage and achieve historic preservation goals. These guidelines will then be utilized to assess the appropriateness of improvements and modifications to structures within the District. Under city ordinance "A certificate of appropriateness shall be required before the following actions affecting the exterior architectural appearance of any Landmark or any structure within a Historic District may be undertaken:

- (1) Any construction, alteration or removal requiring a building permit from the City of Fayette
 - (2) Any demolition in whole or in part requiring a demolition permit from the City of Fayette
 - (3) Any construction, alteration, demolition or removal affecting a significant exterior architectural feature or appearance as specified in the ordinance designating the Landmark or Historic District
 - (4) Any construction, alteration or removal involving earth disturbing activities that might affect archaeological resources
 - (5) Any actions to correct a violation of a minimum maintenance standard.
- Retaining the historic quality of a district is important for the sake of historic preservation but there are also other important benefits to a community.

By utilizing the guidelines in this document the Fayette Historic Preservation Commission also strives to:

- Enhance the environmental quality. Improving and maintaining individual buildings cumulatively enhances the overall quality of the downtown environment.

Introduction

The quality of the individual stores in a downtown is very important but the overall environment should attract people to the District. The downtown should be perceived as a district in which people want to spend time both shopping and exploring.

- Improve the economic potential. Heritage tourism and the attraction of unique commercial districts are becoming more and more attractive to local and regional markets. Establishing a quality environment will attract both visitors and new businesses.

Downtown Fayette's proximity to the Columbia market offers great opportunities. Visitors, looking for single-day outings to interesting destinations are an important economic opportunities for the District.

- Strengthen property values. The stabilization and improvement of property values benefits everyone in the city. The buildings in the downtown district account for a significant portion of the city's overall property valuation. Stabilizing the property values in this district is a benefit to building owners, but also the entire city's tax base.



Historic Overview of the District

The Fayette Courthouse Square Historic District consists of more than forty buildings, of which the majority contribute to the historic architectural qualities and historic associations of the District. The construction dates of the contributing buildings range from ca. 1828 to 1925. Although alterations to the storefronts of the contributing buildings have occurred within the District, overall, the area maintains its integrity, design, setting, materials, and workmanship.

Located in Howard County, Fayette was incorporated in November 1826 (reincorporated in 1830) and has served as the county seat beginning in 1823. Howard County, the sixth county organized in the Missouri Territory, was organized by act of The Missouri General Assembly on January 13, 1816 from the western portions of St. Charles and St. Louis Counties, two of the live original counties that comprised the Missouri Territory.

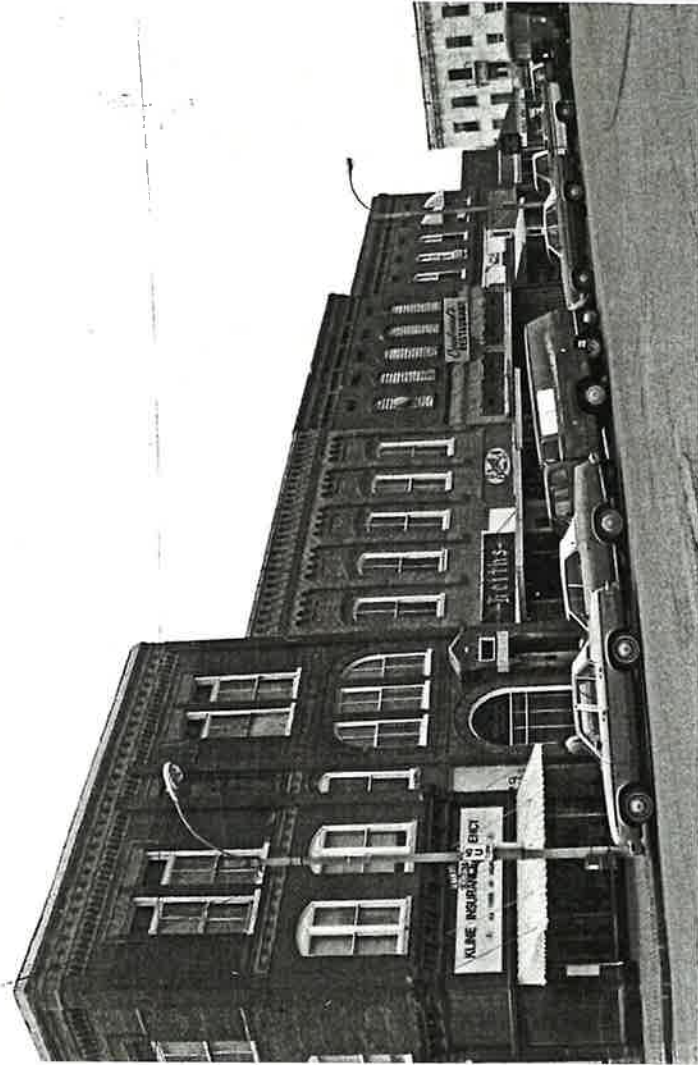
At one time the county covered 22,000 square miles and included much of the land north of the Osage River. Now covering 463 square miles, twenty-nine Missouri counties, and five Iowa counties have been formed out of the area that was originally Howard County. Fayette is located approximately 117 miles east, northeast of Kansas City and approximately 23 miles from Columbia.

The District has a long history as a commercial and governmental center and the buildings reflect that use today. Because this business district has survived many decades, it is understandable that its commercial buildings show alterations, especially at the storefront level. When the upper stories (or in one-story buildings, the parapet), generally remain intact, these buildings continue to contribute to Fayette's sense of place.

All of these buildings are constructed of brick and a significant number feature partial facade coverings of decorative brick lintels, pressed metal cornices, and cast-iron columns. The majority of buildings are two stories in height and feature flat roofs with parapets. In terms of style, the vast majority of these buildings were designed in various vernacular interpretations, some with ornamental cornice detailing that depict secondary influences, such as Italianate, Italian Renaissance, and Romanesque Revival.

The [Fayette Courthouse Square District](#) is located roughly along South Main and North Main, West Morrison, East Morrison, North Church, and West Davis Streets. The District was placed on the [National Register of Historic Places](#) in 1998.

The surrounding areas shown in the District Map are not within the National Register district but are comprised of commercial and residential buildings that contribute to the larger district.



Historic Overview of the District

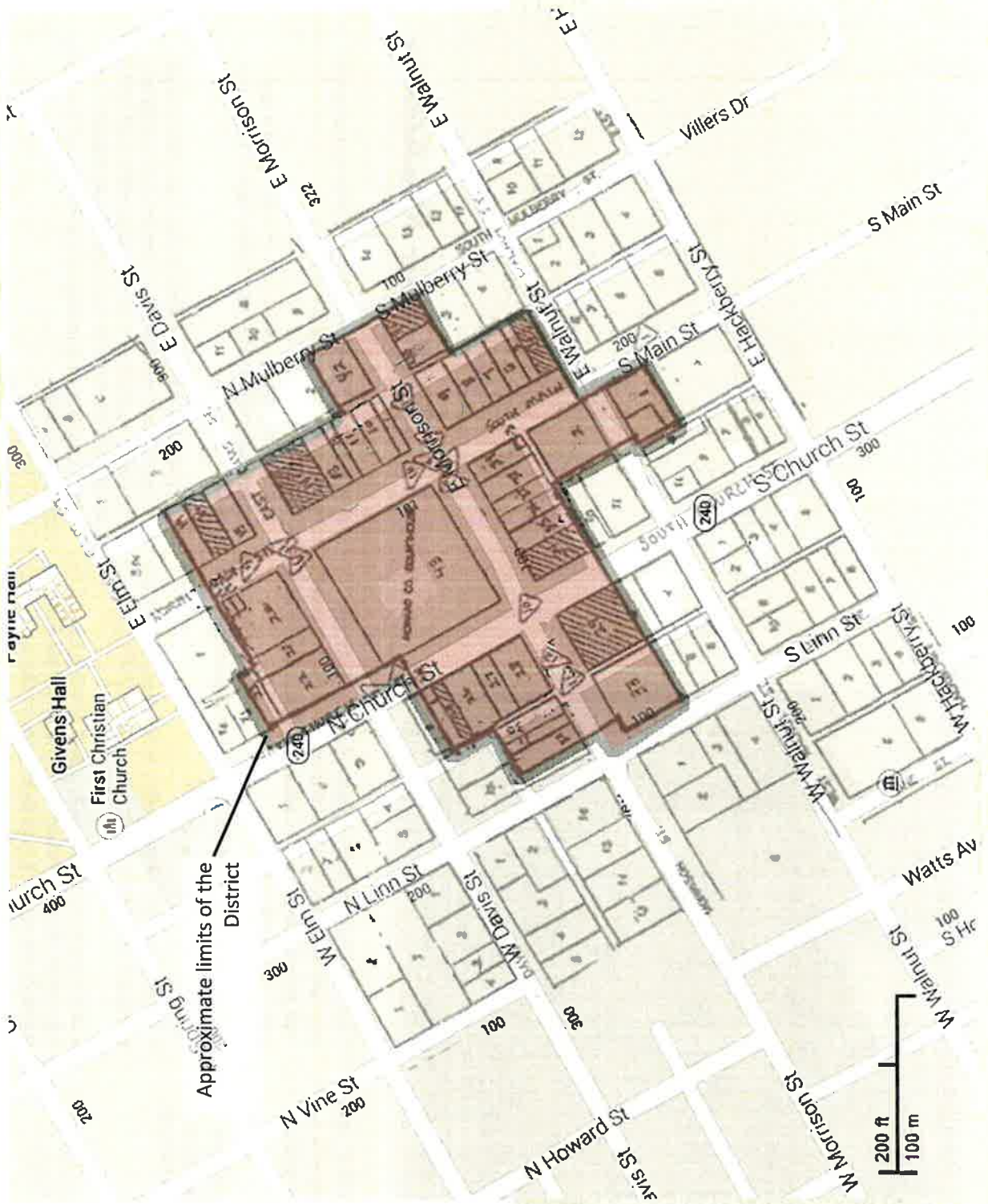
Due to its local historic designation, the Fayette Historic Preservation Commission is responsible for monitoring changes to properties in the District and providing advice and guidance on projects in the surrounding area. Modifications to structures should remain true to their period of construction, and infill structures within the downtown will follow the guidelines outlined later in this document, and as adopted by the Fayette Board of Aldermen.

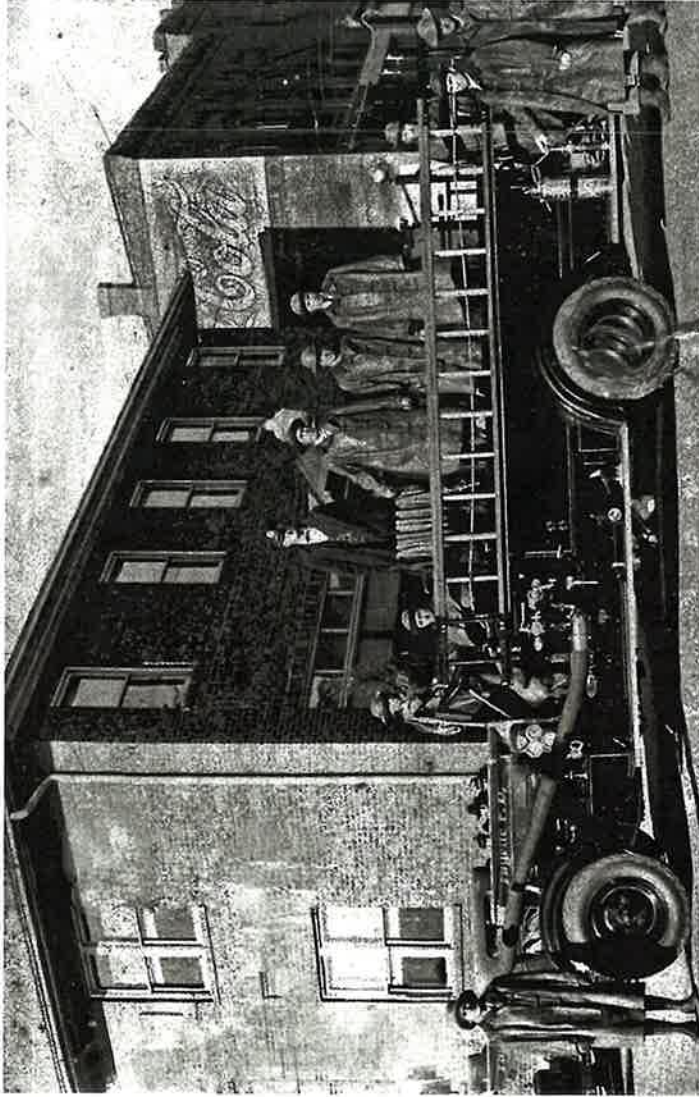
Some of the most architecturally impressive buildings around the square survive intact from the mid 1880's. Although most are vernacular in form, there are several that display a clear influence from either Italianate or Romanesque high-style design. In order to embellish the primary facade of these structures, highly decorative pressed sheet metal cornices were employed. These could be erected fast, using local skills and mail-order sheet metal, pre-stamped and shipped by rail.

Between 1886 through the turn-of-the-century, several other brick buildings were constructed on or near the square.

The erection of the Howard County Courthouse in 1887 designed in the Second Empire style, became the architectural and physical focal point of the square. Like the building period before, other notable buildings from this period incorporate Italianate and Romanesque vocabulary into the primary elevations and employ the use pressed metal cornices and cast-iron piers to further embellish their storefronts. Construction continued at a steady pace from the start of the 20th century through the 1920s. One to two stories in height and more austere in their overall design, these buildings represent the largest and last major period of commercial growth around the square.

District Map





The guidelines established in this document follow the Secretary of the Interior's *Standards for Rehabilitation* [Standards]. The standards are intended to be a guide to building owners, contractors and project reviewers prior to work being initiated.

The Standards define rehabilitation as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Standards for Rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standards for Rehabilitation

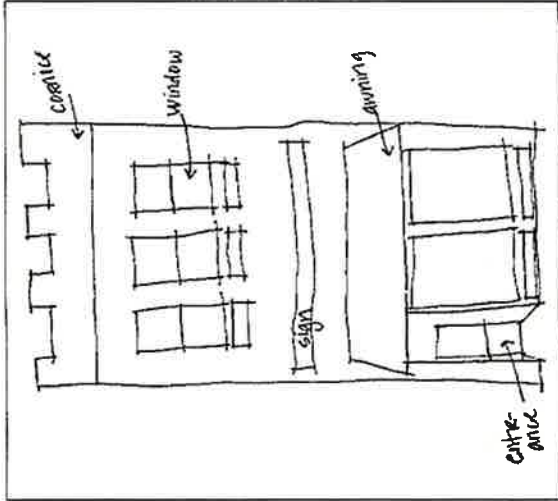
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken

using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

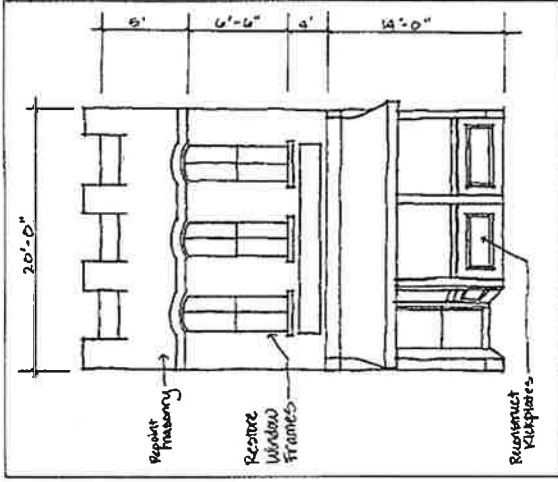
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

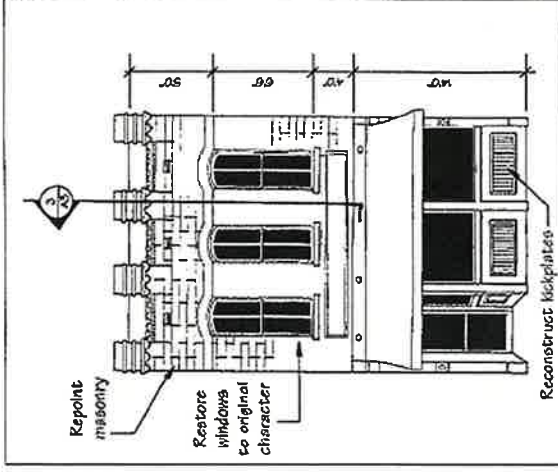
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Inappropriate drawing: the scale and character are not clearly conveyed, nor are there any dimensions



Appropriate drawing: while in free-hand, this drawing does adequately convey the scale and character of the proposed work.



Appropriate drawing: mechanically drafted to scale, this drawing best conveys the character of the proposed work.

Planning Your Project

The first step in planning a preservation project is to identify any significant features and materials. Retaining such details will greatly enhance the overall quality of the preservation project. If these features and materials are in good condition, then selecting an appropriate treatment mechanism will provide for proper preservation. In making the selection follow this sequence:

1. If a feature is intact and in good condition, maintain it as such.
 2. If the feature is deteriorated or damaged, repair it to a sound condition.
 3. If it is not feasible to repair the feature, then replace it with one that is the same or similar in character (materials, detail, finish) to the original one. Replace only that portion that is beyond repair.
 4. If the feature is missing entirely, reconstruct it from appropriate evidence.
 5. If a new feature or addition is necessary, design it in such a way as to minimize the impact on original features.
- One of the biggest questions for building owners when considering work on their building is "where to begin?"

This section is designed to provide general assistance in the process of working on historic structures.

A cursory evaluation of existing street side facades should be performed. After initial evaluation, a more detailed exam of an individual building should provide a historic summary of the building, but more importantly it should lay the ground work for the project approach. In addition to providing base information on the historic context of the building, the report should:

- Evaluate Existing Conditions. The report should inventory the existing condition of the building and relate it back to treatment types. Most importantly it should answer the questions "what needs attention and why".
- Work Description. A description of what work would be needed to stabilize the building, meet specific treatment types, and most importantly what will be needed to accomplish the owner's goals.
- Prioritizing Projects. Often a building has more projects than an owner can finance.

Understanding the priority of projects can put the investment to best use. Critical projects should be done first with more cosmetic projects waiting until last.

Set a Budget

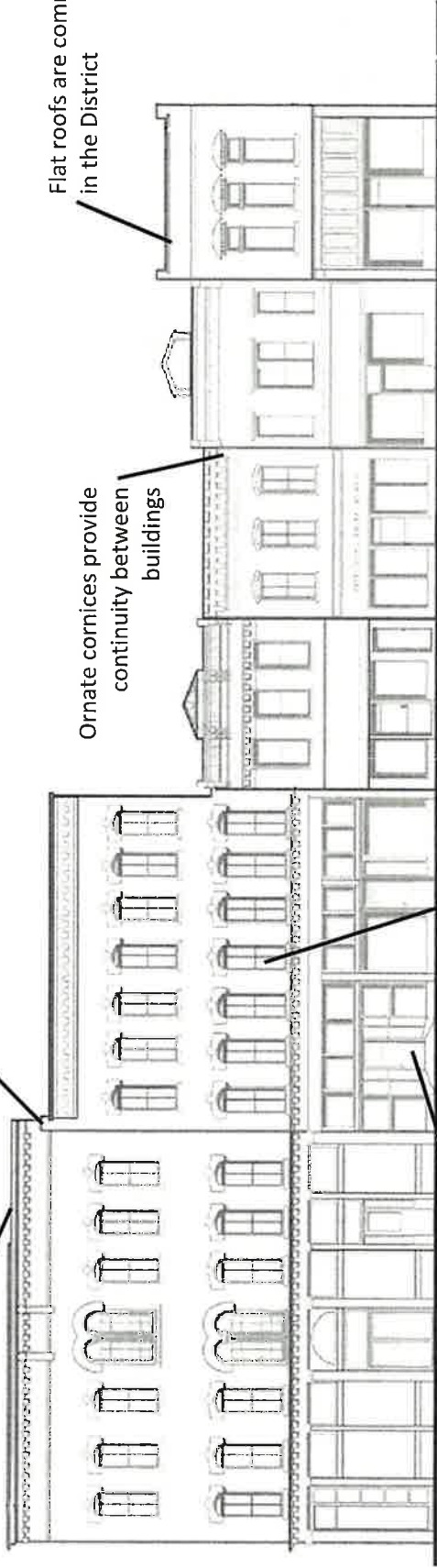
Once the building owner decides what projects have to be completed first, a budget should be established. The building assessment and budget could drive the treatment type selected by the owner. Treatment type is very important and should be considered throughout the assessment and budgeting process.

Apply the Design Guidelines

The design guidelines outlined in this document are established to assist building owners who bring projects before the Fayette Historic Preservation Commission. In addition, the Historic Preservation Commission can provide important guidance to projects that do not require a Certificate of Approval. By applying the guidelines in this document, the Commission and City strive to promote and preserve the historic character of the District.

Prominent building usually at the corner of the block

Zero lot lines mean common walls and few free-standing buildings



Flat roofs are common in the District

Ornate cornices provide continuity between buildings

Large, recessed double door storefront entries

Tall, narrow, regularly spaced upper windows are smaller and create a rhythm in the architecture

Elements of a Streetscape

The historic district represents a collection of well-crafted, vernacular one-, two- and three-story masonry commercial buildings, some with stylistic influences of the Italianate, Italian Renaissance, and Romanesque Revival as well as examples of the Federal, Second Empire, Neo-Classical, and Mission styles.

While some of the buildings of the District have experienced storefront alterations, overall, the historic district retains its integrity of design, setting, materials, workmanship and location.

The buildings and elements of the streetscape create the character of any district.

The zero lot lines in the downtown means that the relationship of buildings to each other and to the streetscape is very important to the appearance of the downtown.

Buildings of mixed influence are common. In particular, with commercial buildings the means and desires of the building owner, the available building materials, and the skills of the local builders may have had a more direct influence on the design of a building than any recognized architectural style. It is commonly the ornament of a particular style, and not the underlying design philosophy, that is copied and applied to a small town building's major facade.

Therefore, while identifying the influence of various architectural styles as they were applied to the facades of these buildings is helpful in gaining an understanding of this resource, of greater importance is the urban pattern of the district, the massing and materials of the buildings, and their substantial intactness. The buildings of this district share a common material, brick, and a common massing and land use. They stand at the physical and symbolic center of the town, enclosing the beautiful town square and housing the major commercial and civic functions of the town.

Commercial building types within the District share a basic boxlike form. They are rectangular in plan with load-bearing masonry walls.

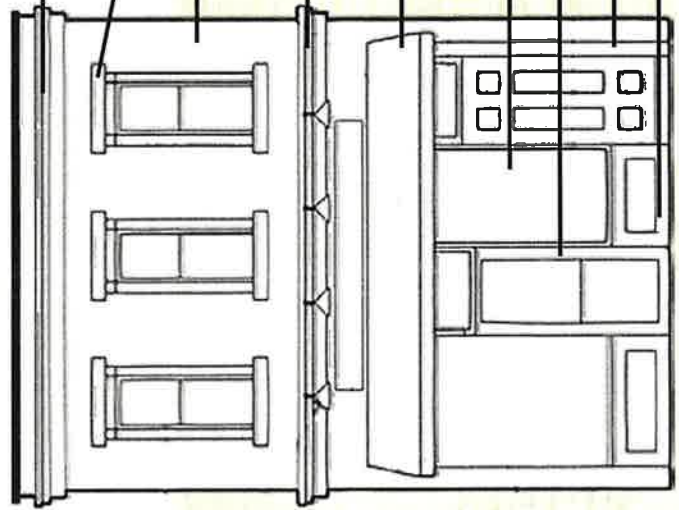
Facades and sidewalls are rectangular and roofs are flat. Individual buildings are attached, often sharing interior sidewalls. At streetside a continuous facade line is created with each building being set at the sidewalk edge. The width and depth of these buildings has been prescribed by the dimensions of the lots and properties.

Property owners should review these descriptions carefully. The property owner is encouraged to refer to detailing from the existing architectural styles within the District in analyzing the overall historic character of his/her building, as well as distinguishing its character-defining features. Ultimately, this should aid the property owner in choosing an appropriate design solution for any proposed work.

Elements of a Commercial Building

Historic Square District buildings in Fayette range from one to three story structures. Most of the buildings are two-story structures that can be visually separated into three horizontal sections:

- The mostly glass street level storefront
- The upper stories, which are distinguished by the window style.
- The cornice or parapet that crowns the building.



Typical Building Elements

Common Courthouse Square Details

Design Guidelines and Building Maintenance

The following design guidelines for historic buildings apply to all contributing properties in the Courthouse Historic Square District. A basic tenet of preservation is that intervention in the historic building should be minimized, therefore, in the treatment of a historic building it is best to preserve those features that remain in good condition. For those that are deteriorated, repair rather than replacement is preferred. When replacement is necessary, it should be done in a manner similar to that used historically. In this way, the original building fabric will be preserved to the greatest extent possible. This is important in maintaining the integrity of the property.

Historic features, including original materials, architectural details, as well as window and door openings, contribute to the character of a structure and should be preserved when feasible. Continued maintenance is the best preservation method. When required, repair or replacement should not destroy the distinguishing qualities or character of the property and its environment.

While restoration of original features is preferred alternative, in-kind replacement is also an option. In the event replacement is necessary, the new material should match that being replaced in design, color, texture and other visual qualities. Replacement should only occur if the existing historic material cannot be reasonably repaired.

General Considerations

The Standards lay out guidelines for rehabilitating existing historic storefronts. The guidelines are not intended to limit the use of a structure, rather, to establish minimum standards for maintaining the historic character of the facade.

Priorities:

- Preserve... Features in good condition**
- Repair... With like materials and methods**
- Replace... With materials and details similar to the historic character**

1. Become familiar with the style of a building and the role of the storefront in the overall design.

- Do not attempt to incorporate detailing from an earlier period than which the building was constructed. Alterations to create an earlier appearance shall be discouraged.

Designs for additions and replacements shall be compatible with the size, scale, color, material, and character of the existing building and neighborhood.

- Avoid stock "lumberyard" detailing (steel doors, fake brick or stone panels, wood shakes, etc.) (Image 1)

2. Preserve the building's character even though there is a new use on the interior. If less exposed window area is desirable, consider other options such as blinds instead of altering the existing building elements. Design solutions shall preserve the integrity and appearance of an individual structure in relation to its immediate neighbors and in the context of the Historic District.

3. Avoid use of materials that were unavailable when the building was constructed. For Fayette this includes:

- vinyl and aluminum siding
- anodized aluminum (Image 2)
- mirrored or tinted glasses
- artificial stone

4. Choose paint colors based on the building's historical appearance. In general:

- Do not paint surfaces that have never been painted
- Generally, brick that was not painted historically should remain unpainted.
- Masonry naturally has a water-protective layer, or patina, to protect it from the elements. Painting masonry walls can seal in moisture already in the masonry, thereby not allowing it to breathe and causing extensive damage over the years.
- Painting of unpainted brick, unless it is mismatched or so deteriorated that it cannot withstand weather, is not appropriate.
- When contrasting colors are appropriate, avoid too many colors on a single facade.

5. Rehabilitation work should retain distinguishing qualities and architectural features.

Inappropriate Building Alterations



Image 1



Image 2

Storefront Elements

Storefronts

Storefronts in the Historic District possess components that were traditionally seen on commercial buildings. The repetition of these standard elements creates a visual unity on the street that should be preserved.

Recommendations

Traditional storefronts used as much glass as possible, making the business transparent and goods visible to the pedestrian. Work on a storefront will identify, retain, preserve, or restore features such as:

- Transom: The upper portion of display, separated from the main display window by a frame. Preserve size and location.
- Kickplate: Found beneath the display window. Sometimes called the bulkhead panel.
- Columns or Pilasters: Usually brick or metal (cast iron) that support the storefront framing, the recessed entry, the storefront glass and the transom above.
- Sign locations: Preserve sign locations when the building detailing accommodates a specific location.

- Door: Preserve the historic character, size and location of the entrance door.

- Display Windows: The main portion of glass on the storefront, where goods and services are displayed. Preserve the size, configuration, and material.



Display Windows

Kickplate or Bulkhead



Corner Columns

Transom Windows



Door Placement

Storefront Elements

Storefronts -Not Recommended

- Removing or altering the storefront from its historic character
- Moving the entrance
- Removing historic materials from the storefront
- Oversized and/or lighted signage
- Adding details that do not fit the original time period of the building-
For the District this would include:
 - faux stone or brick materials
 - stucco
 - wood paneling
 - small paned windows
 - filled windows
 - removed or covered cornices, panels, or columns
- Using replacement or substitute materials that do not convey the same appearance as other, original aspects of the building



Filled Windows

Covered Transom

Replacement Materials

Faux Stone Panel

Covered Midcourse

Cornices

Cornices- General Considerations

When you look to the top of many Fayette Historic Courthouse District buildings you will see their decorative cornices. These ornamental features are what make the buildings distinctive and should be preserved or restored.

- The substitution of another old cornice for the original may be considered, provided that the substitute is similar to the original.
- A simplified interpretation is also appropriate for a replacement cornice if evidence of the original is missing.
- Appropriate materials include stone, brick and stamped metal.

Recommendations

Preserve the character of the cornice and mid-belt cornice line.

- Most historic commercial buildings have cornices to cap their facades. Their repetition along the street contributes to the visual continuity on the block.
- Brick, stone, or metal cornices should not be altered or removed
- Missing sections or parts should replicate the existing material and design
- A straight or stepped parapet may be appropriate.

Reconstruct a missing cornice when historic evidence is available.

- Use historic photographs to determine design details of the original cornice.



Simplified Interpretation



Appropriate Preservation of Character and Material

Windows

Windows and Transoms

Original windows are important features that help convey the early character of a building. The size and shape of original windows are important characteristics that contribute to the integrity of historic commercial buildings. These elements should be preserved, when feasible.

Recommendations

Maintain historically significant windows.

- Preserve glass, sash, hardware, and window surrounds (lintel or decorative window hoods).
- When necessary, replacement windows should match the historic window in size, style, material, dimension, sight line, number of panes and should fill the historic opening.
- When these elements have already been altered, consider restoring them.

Retain the original shape of the transom glass in historic storefronts.

- Transoms, the upper glass band of traditional storefronts, introduced light into the depths of the building, saving on light costs.
- The shape of the transom is important to the proportion of the

storefront, and it should be preserved in its historic configuration whenever possible.

- If the original glass is missing, installing new glass is strongly preferred. However, if the transom must be blocked out, be certain to retain the original proportions. One option might be to use it as a sign panel or decorative band.

Preserve historic upper story windows.

- Re-establish closed windows. When second story is not in use, curtains or blinds should be used instead of enclosing windows.
- Historically, upper-story windows had a vertical emphasis. The proportions of these windows contribute to the character of each commercial storefront.
- Maintain the historic sash and wood trim as well. Repair sash rather than replace it when feasible.

Repair wood features by patching, piecing-in, consolidating or otherwise reinforcing the wood.

- Avoid the removal of damaged wood that can be repaired.
- If portions of wood siding must be replaced, be sure to match the style and lap dimensions of the original.

New Construction

Upper-story windows with vertical emphasis are encouraged.

- Windows should align with others in a block. Windows, lintels and their trim elements should align with those on adjacent historic buildings.

Windows should be trimmed with wood, painted metal or anodized aluminum.

- This trim should have a dimension similar to that used historically.

Window dimensions that are similar to those used traditionally are encouraged.

- The dividing frame elements, or muntins, in a window should be similar in dimension to those used traditionally.

The ratio of solid-to-void should be similar to that seen traditionally on commercial storefront buildings in the district.

- First floors should be more transparent than upper floors.
- Upper floors should appear more solid than first floors.

Retain Transom



Maintain window proportion



Preservation of the lintel



Windows

Windows and Transoms-Not Recommended

- Altering the size of window panes or sash. Such changes negatively affects the scale and proportion of the building.
- Removal of upper transoms or infill with non-glass materials.
- Boarding-up, bricking-in, or other infill of historic openings.
- Alteration of window opening proportion.
- Glazing and replacement sashes that are not compatible with historic window size, configuration, or proportion.
- Adding shutters.
- Reflective and/or dark tinted glass.
- Partially enclosing an original window opening.
- Removing historic materials such as wood, cast iron, and decorative lintels.

Do not infill historic openings



Avoid partially enclosing window opening



Avoid infilling historic proportioned openings



Entries and Doors

The repetition of recessed entries provides a rhythm of shadows along the street that helps establish a sense of scale and identifies business entrances. This pattern should be maintained. Maintain historically significant doors.

Recommendations

- The size and shape of original doors are important historic characteristics that contribute to the integrity of historic commercial buildings.
- Use original doors and door hardware when they can be repaired and reused in place. Do not "discard" the original doors and door hardware when they cannot be repaired.
- Multiple storefront within the same building entries should look alike.
- Second floor entries should be to the side.
- If these elements have already been altered, consider restoring them if their original condition can be determined.

When replacement is necessary, use a door style that is found on similar storefronts in the area.

- A wood door with an open glass panel is appropriate on most styles. The glass should make up at least two-thirds of the door.
- The original doorway configuration should be preserved in any situation.

Maintain recessed entries where they are found.

- The repetition of recessed entries provides a rhythm of shadows along the street, which helps establish a sense of scale.
- These recessed entries were designed to provide protection from the weather and the repeated rhythm of these shaded areas along the street helps to identify business entrances. Typically, recessed entries were set back between three to five feet.
- Restore the historic recessed entry if it has been altered.

Kickplate or Bulkhead

- Retain the bulkhead as a decorative panel.
- The bulkhead, located below the display window, adds interesting detail to the streetscape and should be preserved.
- If the original bulkhead is covered with another material, consider exposing the original design.

If the original bulkhead is missing, develop a sympathetic replacement design.

- Wood is an appropriate material for replacements on most styles. However, ceramic tile and masonry may also be considered when appropriately used with the building style.

New Construction

Building entrances should appear similar to those used historically in the block.

- Clearly define the primary entrance with an awning, canopy or other architectural or landscape feature.
- A contemporary interpretation of a traditional building entry, which is similar in scale and overall character to those seen historically, is encouraged.
- Building entrances should be recessed.
- Clearly define primary entrances.

Locate the primary building entrance to face the street.

- The building entrance should be recessed.
- A primary building entrance also should be at or near street level.
- A sunken terrace entrance is not appropriate as the primary access from the street.

Doors should be trimmed with wood, painted metal or anodized aluminum.

- This trim should have a dimension similar to that used historically.

Maintain original pilasters

Maintain recessed entries

Appropriate bulkhead



Wood door with glass

Entries and Doors

Entries and Doors-Not Recommended

- Removing or altering entrances in a way that diminishes the historic character of the building.
- Doors that are flush with the sidewalk.
- Cutting new entrances in the primary elevation.
- Replacement material that does not match surviving details or appropriate style.
- Not properly maintaining materials.
- Use of storm doors should be limited and when used should not limit the transparency of the facade and should match the historic style of the entrance.

Avoid doors that are flush with sidewalk

Avoid using solid infill materials at commercial entries

Avoid materials that do not match surviving details



Awnings and Canopies

Historically, awnings and canopies were noteworthy features of buildings in the historic district and their continued use is encouraged.

Recommendations

- A fabric awning is encouraged.
- Operable awnings are encouraged on historic buildings.
- Use colors that are compatible with the overall color scheme of the façade. Solid colors or simple, muted-stripe patterns are appropriate.
- The awning should fit the opening of the building.
- Simple shed shapes are appropriate for rectangular openings.
- Instances where they can be utilized to conceal inappropriate alterations to a storefront.

A fixed metal canopy may be considered where evidence demonstrates that one existed historically.

- Appropriate supporting mechanisms are wall mounted brackets, chains and posts.
- Mount an awning or canopy to accentuate character-defining features.

- It should be mounted to highlight moldings that may be found above the storefront and should not hide character-defining features.
- Its mounting should not damage significant features and historic details.

Not Recommended

- Awnings that do not match the shape of the opening.
- Odd shapes, bulbous awnings and bubble awnings are inappropriate on most historic structures.
- A rigid awning or canopy that is permanently attached to the building front and out of character of the building style is inappropriate.
- Canopies that enclose the walkway.
- Backlit awnings.
- Large awnings that dominate the store front and hide distinguishing features.
- Awnings that conceal architectural details such as decorative linels.
- Metal stock awnings

Avoid awnings that do not match the shape of the opening

Metal canopies should not be used



Simple colors and patterns are appropriate



Separated canopies avoid dominating the facade



Metal canopies should not be used

Color

General Considerations

Paint color can greatly enhance the historic feel of a building. The use of multiple, appropriate colors can provide additional character and appeal throughout a district. A paint color or pattern should have continuity with the district and not create a visual distraction. Brick and stone elements like headers and sills should be kept unpainted and cleaned.

Recommendations

- Perform a paint analysis to determine the historic paint colors.
- Use colors that are historically appropriate and compatible with the building and surrounding structures.
- Use contrasting colors a shade lighter or darker on the doors, windows frames, molding, and cornices when appropriate.
- Colors should emphasize details; avoiding dark colors that obscure details and use gloss or semi-gloss paint for easy cleaning.

Not Recommended

- Painting brick that has never been painted.
- Using more than two to three tones.
- Primary colors should not be used on the entire building or storefront.
- Avoid bright hues, utilize natural tones.



Appropriate color combinations



Appropriate neutral hues



Avoid painting originally unpainted brick; maintain continuity between lower and upper floors



Bright, bold colors are inappropriate

Alterations and Additions

Design of Alterations

- Alterations may be considered for historic buildings; however, these alterations should occur in a manner that will not affect the historic integrity of the property and should be reversible for future property owners. When new building does occur, or an existing structure is altered, it should be in a manner that reinforces the basic character-defining features of the area.

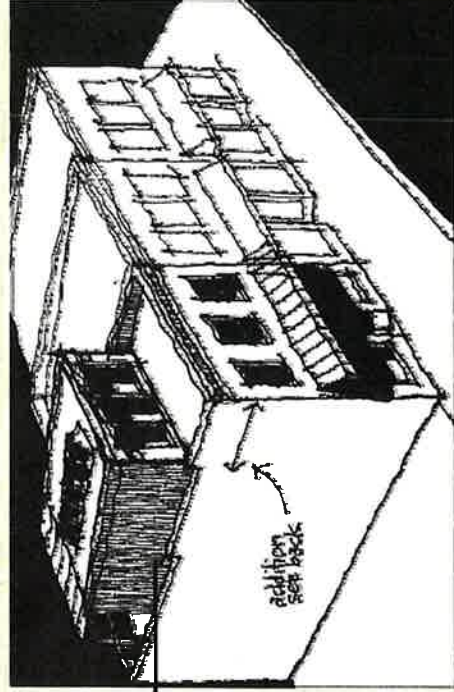
Recommendations

- Design an alteration to be compatible with the historic character of the property.
- Avoid alterations that would hinder the ability to interpret the design character of the original building.
- Alterations that seek to imply an earlier period than that of the building are inappropriate.
- Avoid alterations that would damage historic features.
- For example, mounting a sign panel in a manner that causes decorative moldings to be chipped or removed would be inappropriate.

Additions to Historic Buildings-General Considerations

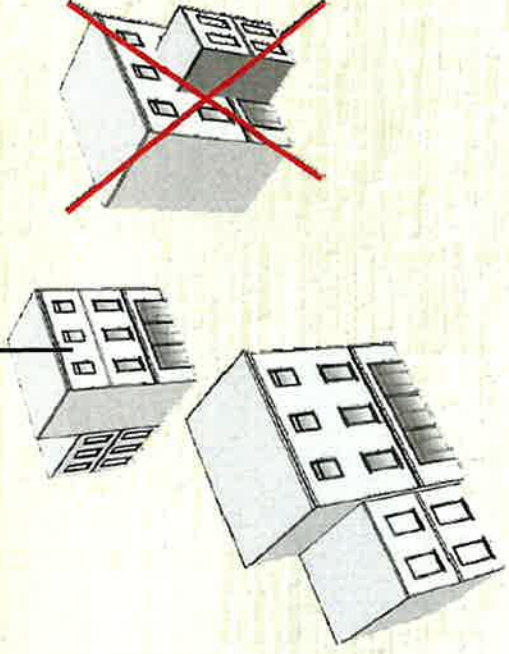
- There are times when expansion is necessary to meet current demands and uses of a historic building. An addition should be considered only after it has been determined that the use cannot be met by altering non-significant, or secondary, interior spaces. An addition should be compatible in scale, materials and character with the main building. The addition should preserve historical features and character of the original building.
- The addition should be subtly distinguishable in its design from the historic portion and have simplified details.
 - Size, scale and proportion. The height and width should not exceed the historic property.
 - Shape and mass. Roof shapes and pitch should be similar and the addition should not overwhelm the historic building.
 - Windows and doors. They should have a similar size, shape, scale, and proportion to the original building.
 - Floor-to-floor height. Traditional and compatible materials should be utilized and should not draw attention away from the historic structure.
 - An addition should be set back from any primary, character-defining facade.

- Place the addition on a non-character-defining elevation.
- A roof-top addition should be set back, to preserve the perception of the historic scale of the building.
- A roof-top addition shall be simple in design to prevent it from competing with the primary facade.



A roof-top addition should be set back from any primary, character defining

Place the addition on a non-character defining elevation

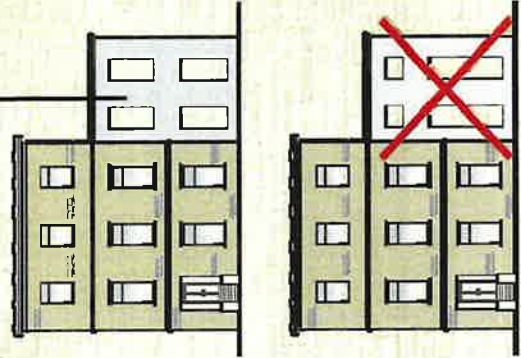


Alterations and Additions

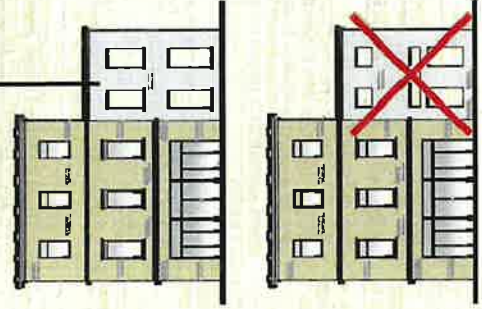
Alterations and Additions- Not Recommended

- Additions should not conceal, obscure, damage or destroy character defining features.
- Construction of a rooftop addition that radically changes the historic appearance of the original building.
- The height and width should not exceed the historic building.
- An addition with a pitched roof is inappropriate.

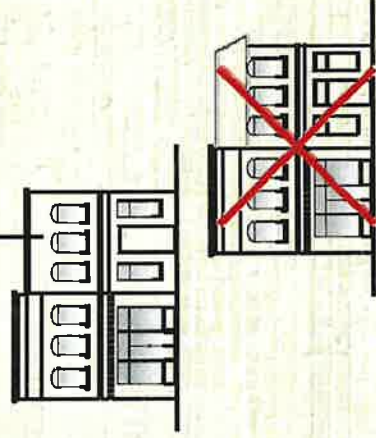
Floor to floor height should be similar



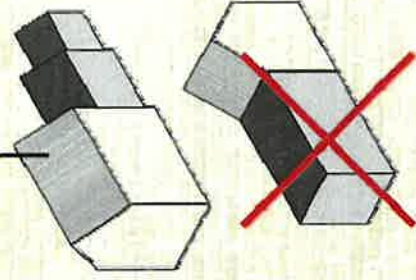
Windows and doors should have a similar size, shape, and proportion



Roof shape and proportion should be similar



Size, scale, and proportion should be similar



Infill

Infill- General Considerations

Currently within Fayette's Downtown Historic District there are no vacant lots. However, new construction may occur with the demolition and construction of new buildings. There are also several infill opportunities just outside the Historic District's boundary. When new building does occur, or an existing structure is altered, it should be in a manner that reinforces the basic character-defining features of the area. Such features include the way in which a building is located on its site, the manner in which it faces the street, its materials and the general alignment of architectural elements and details along a block. When these design variables are arranged in a new building to be similar to those seen traditionally in the area, visual compatibility results.

Recommendations

- Reconstruction, Restoration, and Renovation of a historic structure should follow the guidelines specified in the [Secretary of the Interior's Standards](#).
- A new design that draws upon the fundamental similarities among older buildings in the area without copying them is preferred. This

will allow it to be seen as a product of its own time and yet be compatible with its historic neighbors. The literal imitation of older historic styles is discouraged.

- The composition of the facade, or the organization of its parts, should be similar to surrounding buildings.
- Rhythms, such as window spacing, that are carried throughout a block should be maintained.
- Detailing from surrounding buildings should be reflected in the new building, including window shapes, cornice lines, and brick work.
- Building material should be similar to the District.
- Masonry was the traditional material and is preferred for new construction. This includes stone and brick.
- Wood and metal were used for window, door and storefront surrounds and should be continued in new construction.
- New materials may be considered, but they should appear similar in character to those used traditionally in the District. For instance, brick should be similar in size to that used historically, cast stone and concrete should be detailed to provide a human scale.

- New materials should have a demonstrated durability. For example, some facade materials used in new construction are more susceptible to weather and simply do not last as long as stone or brick.

Develop the ground floor level of a project to encourage pedestrian activity. Entries should be recessed and consistent with the character of the District.

- Provide at least one of the following along primary pedestrian ways:
 - A storefront.
 - Display cases.
 - Public art.
 - Landscaping.
 - Decorative wall surfaces.
- Include traditional elements such as display windows, bulkheads and transoms on commercial storefronts.
- Avoid a blank wall or vacant lot appearance.



Contemporary interpretations of traditional building elements are encouraged.

Materials should appear similar to those used historically.

Mass and Scale

Mass and Scale

Building heights are consistently within the same range: from two to three stories in height. Although a few institutional structures (e.g., the courthouse and surrounding churches) may reach greater heights, these are the exceptions. Building features—such as storefronts, windows and cornices—also align along the block, which contribute to a perceived uniformity in height to pedestrians. The dominant scale of two to three stories should be maintained. This may be accomplished by literally constructing a building within this traditional height range; in other cases, where a larger structure is needed, taller portions may be set back.

Recommendations

- If a building must be taller, consider stepping upper stories back from the main facade, or design the lower levels to express the alignment of elements seen traditionally in the block.
- Also consider stepping the mass of a tall building down to a lower height as it approaches smaller historic buildings or the alley.
- Historically, buildings were built in 20-foot increments. New buildings should reflect this pattern.
- If a larger building is divided into multiple “modules,” these should be expressed three dimensionally, throughout the entire building, including the roof.
- A new building should maintain the alignment of horizontal elements along the block.
- This alignment occurs because many of the buildings are similar in height.
- Window sills, moldings and cornices are among those elements that may be seen to align.
- The main floor of a building should align with those of historic properties.
- Floor-to-floor heights should appear to be similar to those seen historically in the block.

- Historically, most buildings were two and three stories in height, although some smaller, one story buildings existed. New buildings should reflect this range.
- Develop a primary facade that is in scale and alignment with surrounding historic buildings. The proportion, size of windows and transparency of a building should be similar to surrounding structures.



Consider dividing larger buildings into “modules”.



Historically, most buildings were one, two, and three stories in height.

Site Design Guidelines

Site Plan Guidelines

Most structures in the Historic District contribute to a strong "building wall" along the street because they align at the front lot line and are usually built out to the full width of the parcel, to the side lot lines. Although small gaps do occur between some structures, these are exceptions. These site plan characteristics should be preserved.

Recommendations

Maintain the alignment of buildings at the sidewalk edge.

- Locate the front building wall at the sidewalk line when feasible.
- Where a building must be set back from the sidewalk, use landscape elements to define the sidewalk edge.

Orient the primary entrance of a building toward the street.

- A building should have a clearly defined primary entrance. For most commercial buildings, this should be a recessed entryway.
- A secondary public entrance to commercial spaces is also encouraged on a larger building.

Respect the town grid in new construction.

- Orient a new building parallel to its lot lines, in a manner similar to historic building orientation, not at an angle.
- Orient the primary facade toward the street.

Public Outdoor Spaces

- Improved public outdoor spaces should be encouraged through the creation of eating and seating areas.

Landscaping

Landscaping in the downtown enhances the pedestrian experience and its continued use is encouraged.

Recommendations

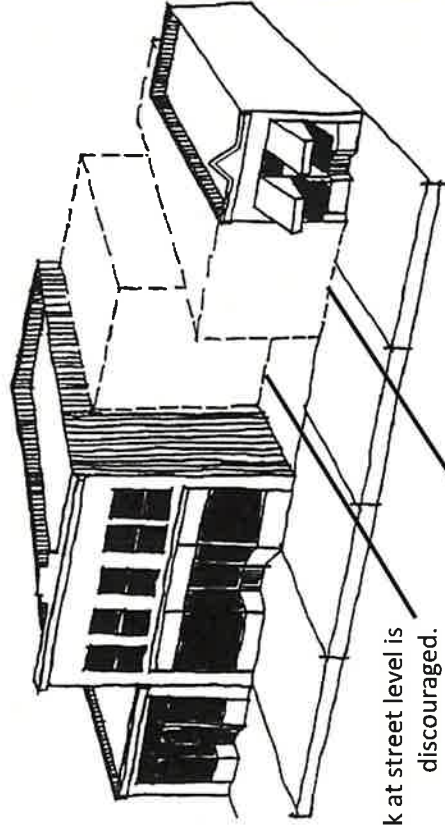
- Landscaping is encouraged where space allows.
- Landscape features such as parks, gardens, street lights, signs, benches, and walkways that have traditionally linked buildings to their environment should be retained.
- Storefronts should continue to define the sidewalk edge.

Planting trees is encouraged.

- Existing trees should be preserved, when feasible.
- When an existing street tree dies, it should be replaced in kind.

Using new trees, plants, flowers and shrubbery that are well adapted to the Missouri climate is encouraged.

- While a wide variety of plants can grow in the Missouri climate, those that are better adapted and that require less water are preferred.



Setback at street level is discouraged.

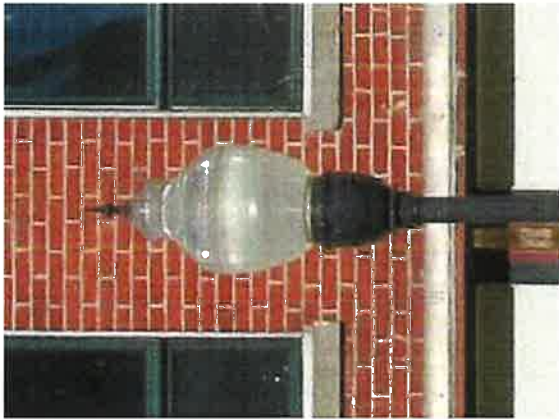
Align the building front at the sidewalk edge.



Improved outdoor public spaces are encouraged.



Landscape enhances the pedestrian experience and is encouraged



Building Lighting

The character and level of lighting that is used on a building is a special concern. Traditionally, the exterior lights were simple in character and were used to highlight signs, entrances and first floor details. Most fixtures had incandescent lamps that cast a color similar to daylight, were relatively low in intensity and were shielded with simple shade devices. Although new lamp types may be considered, the overall effect of modest, focused building light should be continued.

Recommendations

Use lighting for the following:

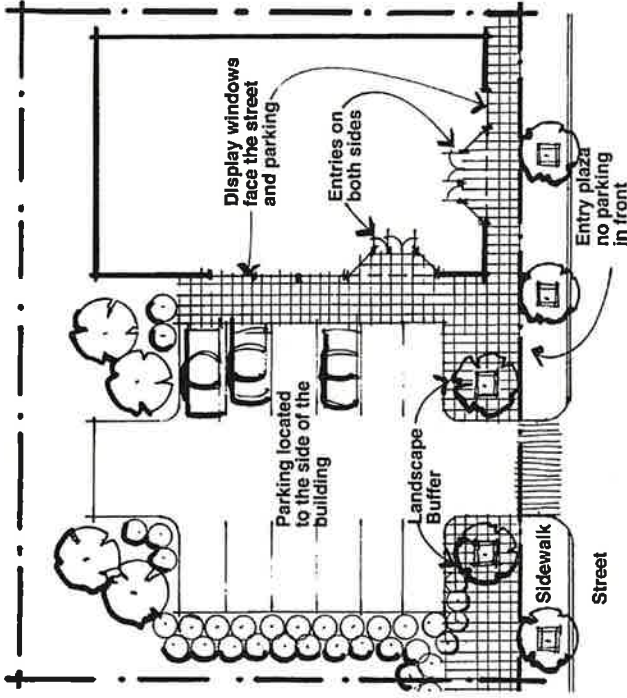
- To accent architectural details.
- To accent building entrances.
- To accent signs.
- To illuminate sidewalks.

Use lighting as it was used historically in the district.

Building Lighting

- Detailing and materials should be compatible with the character and style of the building.
 - Shielded lighting is preferred.
 - Lighting should not dominate a facade or the street.
- Minimize the visual impacts of site and architectural lighting.
- All exterior light sources should have a low level of luminescence, yet achieve a safe level of illumination for pedestrian safety.
 - Lights that cast a color similar to daylight are preferred.
 - Lighting fixtures should be appropriate to the building and its surroundings in terms of style, scale and intensity of illumination.
 - If accent or facade lighting is desired, a comprehensive lighting design for the building should be done by a professional lighting designer
- Prevent glare by using shielded and focused light sources.
- Provide shielded and focused light sources that direct light downward. Preserve dark skies.
 - Shield lighting associated with service areas, parking lots and parking structures.
 - If accent or facade lighting is desired, a comprehensive lighting design for the building should be done by a professional lighting designer
- Not Recommended
- Washing the entire facade with light is inappropriate.
 - Fluorescent lighting
 - Lighting that conceals any architectural feature
 - Unshielded, high intensity light sources and those that direct light upward should not be permitted.

Parking



Screen off street parking areas from view from the street.

Screen the edges of off street parking with planted areas.

Parking
Automobiles have been a part of the scene for many years. Historically, however, they were a secondary feature in the street scene. Today, their visual impacts should be minimized, to enable one to perceive the historic character of the street.

Recommendations
Minimize visual impacts of off-street parking, as seen from the public way.

- Screen the edges of parking lots with planted areas, decorative paving, fences, hedges and decorative walls.
- When landscaping at the sidewalk edge use at least a five foot deep plant bed. This will provide a good buffer for pedestrians.
- Using a low brick wall may also be an appropriate solution.
- Landscaping the interior of a parking lot is encouraged.

Large areas of off-street parking are discouraged in the Historic District.

- Minimize the number of new curb cuts.

- When possible shared parking should be encouraged.
- Where appropriate, design a parking area to be accessed from an alley rather than the street.

Locate parking such that it will be subordinate to other site features.

- An on-site parking area should be located inside or behind a building, where its visual impact will be minimized.
- Minimize the surface area of paving and consider using less impervious material such as modular pavers.

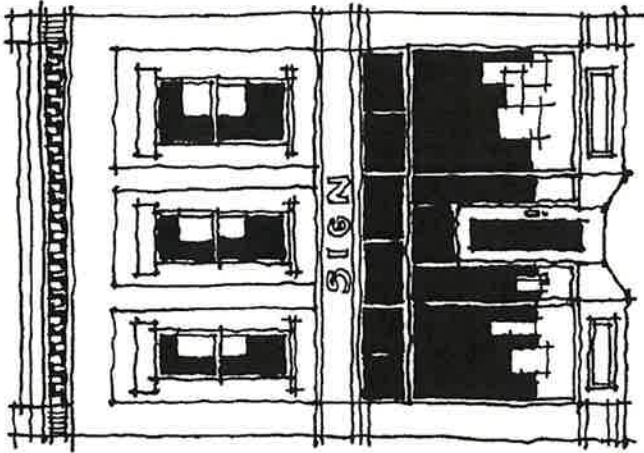
Not Recommended

- Off-street parking shall not be located in front of buildings or at corner nodes along Main Street.

Sign Guidelines



Signs painted on storefront glass are appropriate.



The overall façade composition including details and signs should be coordinated.

Sign Context

A sign typically serves two functions: first, to attract attention; and, second, to convey information, essentially identifying the business or services offered within. If it is well designed, the building front alone can serve the attention-getting function, allowing the sign to be focused on conveying information in a well conceived manner. All new signs should be developed with the overall context of the building and of the district in mind. Signage should complement and not compete with the character of the building and the downtown in general. Signage should be evaluated based on design, location, type, material, lighting and size.

Recommendations

- Coordinate the overall facade composition, including ornamental details and signs.
- A sign should be in proportion to the building, such that it does not dominate the appearance.
- Simple sign designs are preferred.
- Develop a master sign plan for the entire building; this should be



Projecting signs may be considered.

used to guide individual sign design decisions.

A sign should be subordinate to the overall building composition.

Appropriate Locations:

- On an historic building a sign should not obscure architectural details or features.
- Storefront lintel or transom area.
- If lintel is not applicable then signage should be on a flat unadorned part of the façade.
- Painted directly on the glass of the storefront
- On awnings.
- New murals and other artwork of a non-commercial nature shall be sympathetic to the districts character.

Appropriate Sign Types

Flush-mounted wall signs may be considered.

- A flush-mounted wall sign should be positioned just above the

display window.

- When feasible, place a wall sign such that it aligns with others on the block.

Projecting signs may be considered.

- A projecting sign should be located near the business entrance just above the door or to the side of it.
- Note that other approvals may be required to allow a sign to overhang the public right-of-way.

A window sign may be considered.

- A window sign may be painted on a window or hung just inside a window.

A directory sign may be considered.

- Where several businesses share a building, a single panel directory is appropriate.

Sign Guidelines



Use letter styles that are compatible with the historic nature of the district.

Sign Materials

Sign materials should be compatible with that of the building facade.

- Painted wood and metal are appropriate materials for signs.
- Painted signs on blank walls may be considered, however painting historic masonry walls that were previously unpainted is inappropriate.

Sign Content

Symbol signs are encouraged

- Symbol signs add interest to the street, are quickly read and are committed to memory better than written words.

Use colors for the sign that are compatible with those of the building front.

- Limit the number of colors used on a sign to three.

Select letter styles and sizes that will be compatible with the building front.

- Typefaces that are in keeping with those seen in the area historically are encouraged.



Symbol signs add visual interest to the street.

Sign Lighting

- Indirect lighting, that which is directed at a sign from an external, shielded lamp, is preferred.
- A warm light, similar to daylight, is appropriate.
- Sign lighting should also be evaluated by the building lighting criteria included in this Guideline.
- Internal illumination which backlights sign typeface may be appropriate.

Not Recommended

- Flush mounted signs located above second-floor windows.
- Signage that obscures architectural details.
- Window signs that cover more than twenty five percent (25%) of the total window area.
- Unfinished materials, including unpainted wood.
- Highly reflective materials.
- Signs with mirrors, or other highly reflective surfaces.



Light shall be directed at the sign from an external, shielded lamp.

- Flashing and movable signs.
- Lettering should not exceed 10 inches in height for a typical one-bay storefront. This applies to letters on flush-mounted, projecting and window signs. Taller letters may be considered, for flush-mounted signs only, on a larger surface area.
- Hard-to-read or overly intricate typeface styles.
- Neon signs, unless it is existing sign that is historically significant in its own right.
- Neon and other tubular illumination types are discouraged unless limited such that they do not become visually obtrusive.
- Internally illuminated signage for entire sign panels.
- Fasteners for hanging signs that damage masonry wall surfaces.
- Moveable or portable signs other than sandwich boards.
- Roof signage.

Mechanical Equipment and Service Areas



Minimize the visual impacts of trash and storage areas. Dumpsters shall be screened from view.

Mechanical Equipment and Service Utilities
Utility service boxes, telecommunication devices, cables and conduits are among the variety of equipment that may be attached to a building that can affect the character of the area. Trash and recycling storage areas also are concerns. To the greatest extent feasible, these devices should be screened from public view and negative effects on any historic resource should be avoided.

The following materials should not be visible from the primary facade elevations facing the square and should be screened from any side streets:

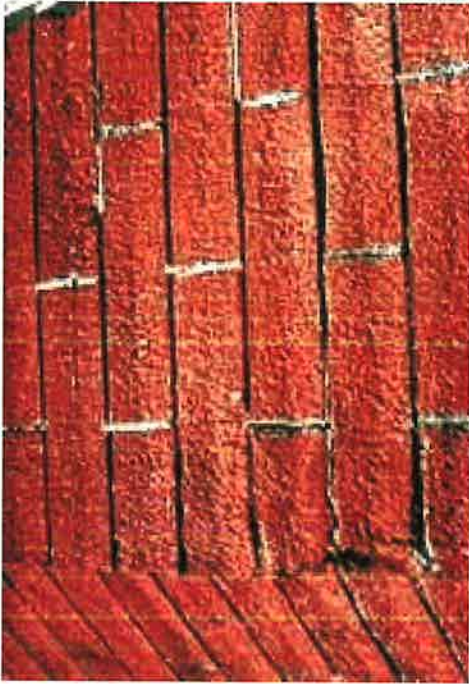
- Mechanical equipment.
- Garbage and recycling containers.
- Utilities.
- Outside storage associated with a business.
- Window and wall air conditioning units.
- Service areas should be located away from streets and pedestrian areas, and screened to reduce visual impact.

Do not locate window air conditioner units on building's primary façade.

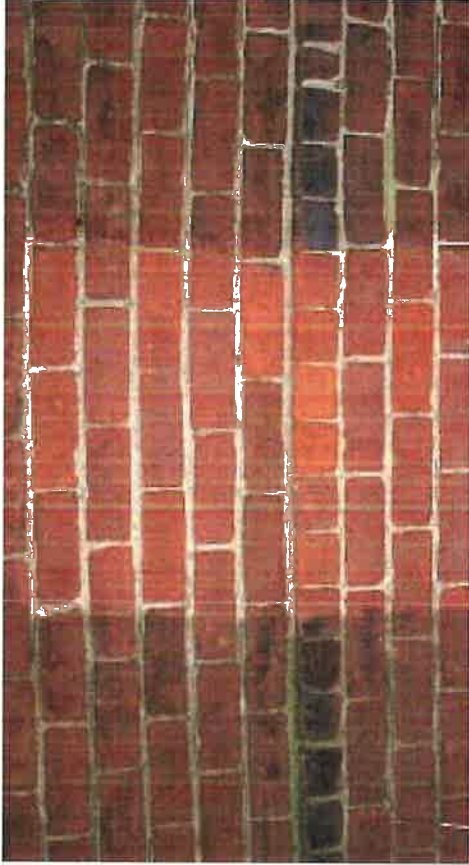
- New electrical services shall be buried whenever possible.
- Recommendations**
Minimize the visual impact of mechanical equipment on the public way.
- Screen equipment from view.
 - Do not locate window air conditioning units on the building's primary facade.
 - Use low-profile mechanical units on rooftops that are not visible from public ways.
 - Locate communications equipment out of public view to the extent feasible.
- Minimize the visual impacts of utility connections and service boxes.
- Locate these elements on secondary walls. They shall not be located in primary facades facing the square.
- Locate standpipes and other building services such that they will not

- damage historic facade materials.
 - Cutting channels into historic facade materials damages the historic building fabric and is inappropriate.
 - Avoid locating such equipment on the front facade.
- Minimize the visual impact of trash storage and service areas.
- Locate service areas away from major pedestrian routes, typically at the rear of a building.
 - Dumpsters should be screened from view.
 - Consider placing gates on trash storage areas to further diminish its visual impact.

Maintenance Standards



Sandblasting brick or stone as a method of cleaning permanently erodes the surface of the material and accelerate deterioration.



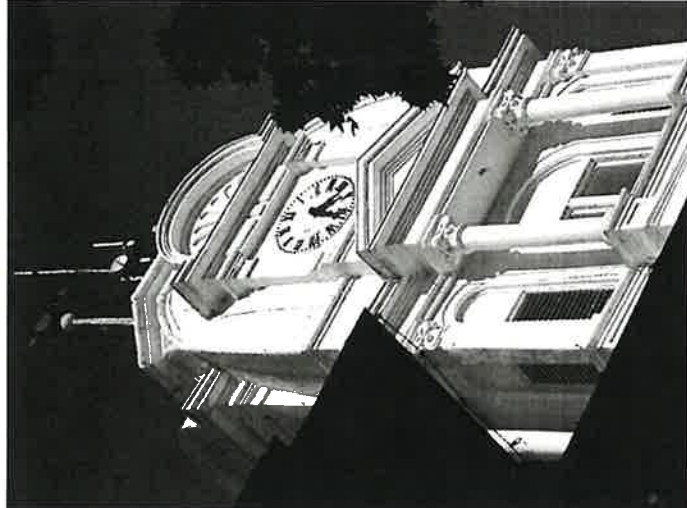
Masonry cleaning tests should be performed to determine the gentlest method possible.

Maintenance Standards
 Many historic buildings have outstanding existing details that only need maintenance. Providing proper maintenance to these features can prevent future damage and ensure the long life of these features. When required, repair or replacement should not destroy the distinguishing qualities or character of the property and its environment. (For additional information on defining the character of an historic building, please visit the Secretary of the Interior Standards and Guidelines website <http://www.nps.gov/lps/standards/rehabilitation/rehab/index.htm>)

- Recommendations**
- Identifying, retaining, and preserving wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.
 - Identifying, retaining, and preserving architectural metal features such as columns, capitals, window hoods, or stairways that are important in defining the overall historic character of the building;

- and their finishes and colors. Each metal has unique properties and thus requires different treatments.
- Cleaning masonry should only be done to halt deterioration or remove heavy soiling.
- Masonry surface cleaning tests should be done before any cleaning is done to determine the gentlest method possible.
- Cleaning of masonry should be done with the gentlest techniques as possible, such as low pressure water and detergents, using natural bristle brushes.
- Removing damaged or deteriorated paint to the next sound layer and doing this through the gentlest means possible, which is usually hand scraping.
- Masonry mortar joints should be repaired when there is evidence of disintegrating mortar, cracks in joints, loose bricks, damp walls, or damaged plasterwork.
- New mortar should match the old mortar in strength, composition, color, texture, and joint width and profile.
- Repaired masonry should be as inconspicuous and compatible as

- possible.
 - Ensure proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.
- Not Recommended**
- Making repairs or replacements without addressing the cause of any damage or deterioration.
 - Sandblasting brick or stone surfaces using dry or wet grit or other abrasives.
 - Using water or liquid chemical solutions for cleaning when there is a possibility of freezing temperatures.
 - Cleaning or leaving chemicals on masonry surfaces that will damage the masonry.
 - High pressure water cleaning
 - Removing paint that firmly adhered to masonry.
 - Removing non-deteriorated mortar and replacing with all new to obtain a uniform look.



Resources

- [U.S.] National Register of Historic Places URL: <http://www.dnr.mo.gov/shpo/nps-nr/98000069.pdf>
- National Register of Historic Places: <http://www.dnr.mo.gov/shpo/nps-nr/FayResourcesMPS.pdf>
- Secretary of the Interior Standards & Guidelines: <http://www.nps.gov/lps/standards/rehabilitation/rehab/stand.htm>
- Focus on Fayette: <http://www.fayettermo.com/history.html>
- International Dark Sky Association: <http://darksky.org/outdoorlighting>

